



Ropewalk ,
Alcester, B49 5DD

Jeremy
McGinn & Co

Offers In The Region Of £325,000

 3  1  2  C

A Semi-Detached family home situated in a mature and quiet residential road with a leafy aspect to the front, right in the heart of Alcester and about 5 minutes walk to the many amenities of the town.

The property is approached over a pedestrian path with gate leading over the front garden. There is large side driveway which provides parking for up to 3 vehicles with pedestrian gate through to rear garden.

Internally, the accommodation, which benefits from double glazing, gas central heating and oak internal doors, includes; Reception hall, Cupboard and a Living room with open fireplace and french doors opening to a brick-built Garden room/Dining room with conservatory-style roof and french doors to the garden.

There is also a modern fitted Kitchen with wood-effect work-tops, space for numerous appliances and windows to two aspects and a door to the garden. The reception hall also provides access to a downstairs, fitted Family Bathroom.

Upstairs there are THREE good size Bedrooms and a separate WC., all accessed from the large landing.

Being on a corner plot, the front and side of the property are of a generous size. The side currently has a large shed and is gated either end.

The Rear Garden is Westerly-facing and is mainly laid with timber decking, a gravelled area and a paved path leading to an arched gateway through to the side.





Tax Band: C

Council: Stratford

Tenure: Freehold

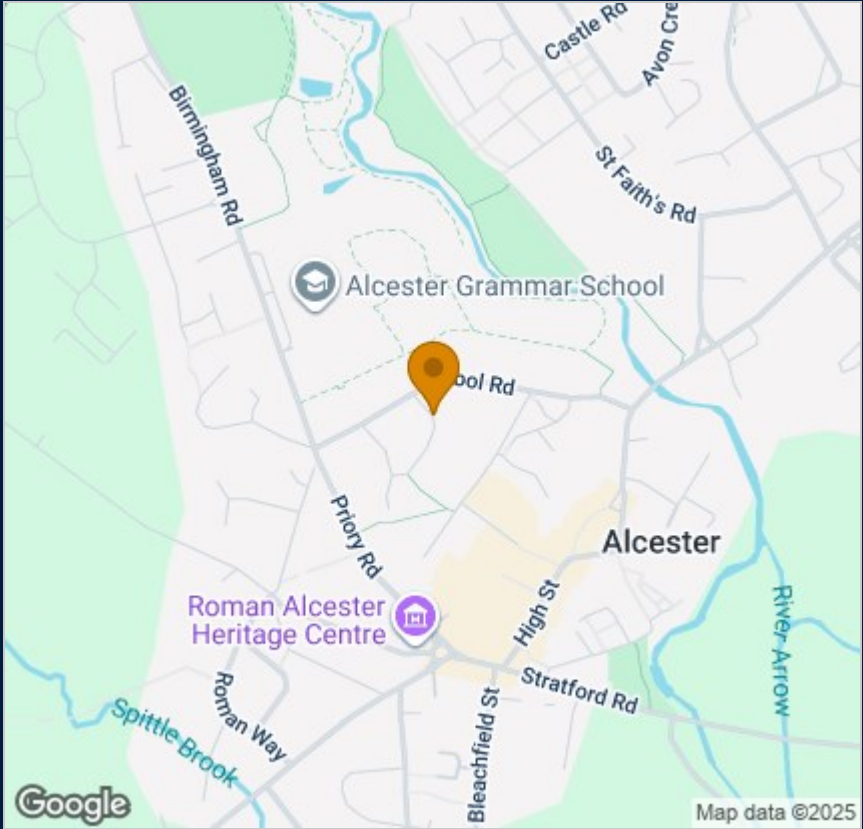
Alcester dates back to around AD 47 and was founded by the Romans as a walled fort on the confluence of the River Arrow & the River Alne and boasts a wealth of stunning characterful properties. The Town has developed into an extremely popular place to live with a strong community who are rightly proud of their Town. The historic High Street offers a range of independent shops & cafés in addition to restaurants and pubs and a Waitrose supermarket.

The quality of local schools is a big draw to the Town including the extremely well regarded Alcester Grammar School. For more comprehensive amenities, nearby Stratford upon Avon offers a wealth of facilities including the world famous Royal Shakespeare Theatre. Fast train services from Warwick Parkway give access to London in a little over an hour.

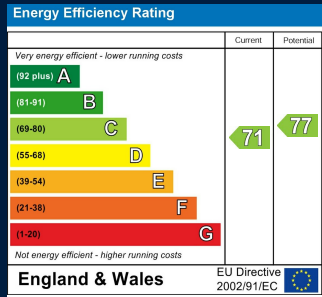
Floor Plan



Map



Energy Performance



Jeremy McGinn & Co

These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.

49A High Street, Alcester, Warwickshire, B49 5AF
Tel: 01789 868587 Email: alcester@jeremymcginns.com www.jeremymcginns.com